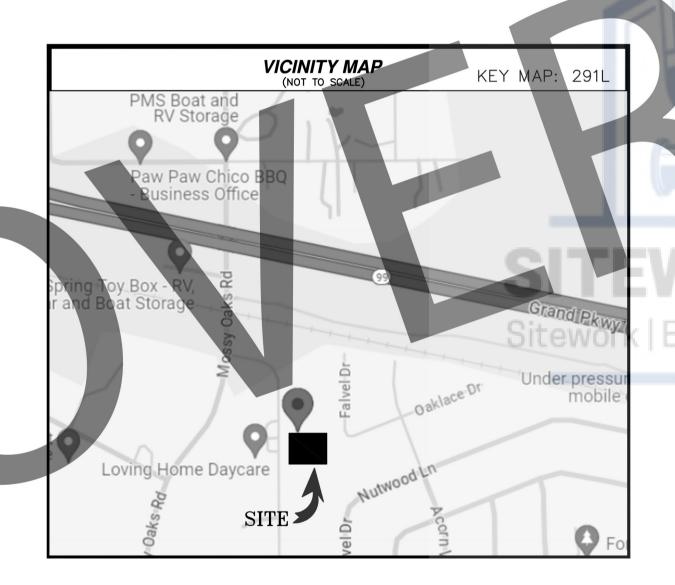
PROPOSED DRAINAGE & PAVING CONSTRUCTION PLANS



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PAVINGCOMMERCIAL / OTHER SITE DRAINAGE RESIDENTIAL / SUBDIVISION DRAINAGE WATER AND WASTEWATER PERMITS REQUIRED (FOR H.C. PUBLIC R.O.W. ONLY) COMMERCIAL PROJECTS DOES THE PROPERTY HAVE ANY VIOLATIONS? IF SO PLEASE PROVIDE PROPOSED DRAINAGE SYSTEM TYPE PROPOSED DRAINAGE AREA STEEL SPACING REINFORCE STABILIZED ☐ \STORM SEWER ■ NEW DEVELOPMENT AREA: DOES PROPERTY HAVE EXISTING AND/OR PROPOSED UTILITIES? STRENGTH **THICKNESS SUBGRADE** ☐ RQADSIDE DITCH OF☐ RE—QEVELOPMENT AREA (NET NEW DEVELOPED AREA): LONG. TRANS. YES □ NO DEPTH☐ LOW \MPACT DEVELOPMENT (LID) IF YES CHECK THE BOX THAT APPLIES TO THIS PROJECT (IN.) (IN.)(PSI) (IN.) (IN.) (#4 MIN.) ☐ LOW IMPRACT DEVELOPMENT (LID) ☐ PÙBLIC WATER & SANITARY II. DETENTION VOLUME II. DESIGN METHOR USED ☐ STORM WATER QUALITY ***** □ .65 (CHANNEL) ☐ PRIVATE WATER WELL & SEPTIC SYSTEM ☐ CITY OF HOUSTON ____ YEAR FREQUENCY **★**⁄□ .75 (STM SWR) ☐ SEPTIC (EXISTING) ☐ SEPTIC (PROPOSED) ☐ PUBLIC WATER & PRIVATE SEPTIC/SYSTEM ☐ OTHER: **DESIGN DESIGN** NEW AREA_ 🖈 🗆 1.00 (RD. DITCH) ■ CIVIL SITE WORK (PHASE II PERMIT CLASS I (non-floodplain)) STABILIZED STABILIZED ☐ PRIVATE WATER WELL & PUBLIC SANITARY **SURFACE SURFACE** BASEBASEDETENTION REQUIRED **SUBGRADE SUBGRADE** ★ □ OTHER: _____ ☐ CIVIL SITE WORK (PHASE II PERMIT CLASS II (floodplain)) III. DRAINAGE SYSTEM OUTFALLS DIRECTLY TO EXISTING **COURSE COURSE COURSE COURSE THICKNESS** TYPENOTE: PUBLIC UTILITIES REQUIRE A LETTER FROM THE DISTRICT/ MUNICIPALITY AUTHORIZING SERVICE & CONNECTION. THICKNESS TYPE**THICKNESS** TYPEPROPOSED DETENTION VOLUME = _____ AORE FEET ☐ DRIVEWAY WITH CULVERT _____ CURB AND GUTTER _____ ☐ DETENTION POND (APPROVED H.C. PRJ NØ (MATERIAL) (IN.)(MATERIAL) (IN.)(MATERIAL) (IN.)PROPOSED DETENTION VOLUME CALCULATIONS ARE SHOWN ON SHEET _____ DETENTION POND MAINTAINED BY: THIS IS REQUIRED FOR PLAN APPROVAL. \square BUILDING PERMITS (NO. OF BUILDINGS = _____) \square CRITICAL FACILITY ☐ HCFCD DRAINAGE DITCH UNIT NO.: DETENTION VOLUME PROVIDED BY EXISTING DETENTION POND ☐ SUBDIVISION INFRASTRUCTURE PHASE II (NO. OF LOTS = _____ ☐ H.C. ROADSIDE DITCH (ROAD NAME);/ UTILITY DISTRICT/MUNICIPALITY NAME: APPROVED H.C. PROJECT NO .: ☐ H.C. STORM SEWER (APPROVED N.C. PRJ NO.): _ DETENTION POND SERVICE AREA MAP IS PROVIDED ON SHEET _ NOTE: SEPTIC SYSTEMS REXUIRE H.C. WASTE WATER REVIEW ☐ NOTICE OF DETENTION AFFIDAVIT REQU IV. H.C. OUTFALL CALCULATIONS] MUD MAINTENANCE AGREEMENT REQUI H.C. SEPTIC PERMIT/REQUEST NO. _____ DRIVEWAYS (in H.C. ROW only) OUTFALL TO H.C. ROADS/DE DITCH ☐ ROADSIDE DITCH OUTFALL: NOTE: ALL EXISTING AND PROPQSED UTILITIES MUST BE I. NUMBER OF DRIVEWAY APPROACHES PROPOSED INCLUDE WIDENING OR ALLOWABLE OUTFALL RATE: 0.0027 x LF Frontage = ____ (CFS) ☐ EXISTING A.C. STORM SEWER ACCURATELY SHOWN/& LABELED ON THE SITE PLANS. REPAVING EXISTING DRIVEWAYS AS WELL AS NEW DRIVEWAYS WORK IN HARRIS COUNTY R.O. PROPOSED OUTFALL RATE: ____ (CFS), CALCULATIONS PROVIDED ON SHEET __ OTHER WIDTH MATERIAL CULVERT? CULVERT LENGTH ☐ ROADSIDE DITCH OUTFALL: ☐ STORM SEWER OUTFALL ALLOWABLE OUTFALL RATE: 0.0027 x _____ LF Frontage = ____ (CFS) CAPACITY ALLOCATED TO TRACT FROM D. A. MAP: ___ PROPOSED OUTFALL RATE: ____ (CFS), CALCULATIONS PROVIDED ON SHEET ___ ☐ UTILITY DYSTRICT/MUNICIPALITY NA FROM DRAINAGE AREA MAP DATED: OTHER CONSTRUCTION ☐ STORM SEWER ON TFALL APPROVED H.C. PROJECT NO .: ☐ PRIVATE WATER & WASTE WATER SYSTEMS CAPACITY ALLOCATED TO TRACT FROM D. A. MAP: ___ ACTUAL OUTFALL PATE: ____ (CFS), CALCULATIONS PROVIDED ON SHEET ___ FROM DRAINAGE AREA MAP DATED: PRIVATE WATER & INDIVIDUAL OS A PERMIT IS REQUIRED FOR EACH SCOPE OF WORK ON SITE. II. HARRIS COUNTY STANDARD DRIVEWAY DETAIL APPEARS ON SHEET INDIVIDUAL WATER WELL & OSSF A R.O.W. NOTIFICATION IS REQUIRED FOR EACH SCOPE OF WORK IN HC OR HCFCD ROW. APPROVED/H.C. PROJECT NO.: FIRE APPARATUS ACCESS ROAD ☐ DETENTION BASIN IS PART THIS PLAN SET. SERVICE AREA MAP IS ON SHEET ___ ACTUAL OUTFALL RATE: ____ (CFS), CALCULATIONS PROVIDED ON SHEET REFER TO www.eng.hctx.net/permits FOR EACH SCOPE OF WORK IN HC OR IN HCFCD ROW. NOTE: A COPY OF TCEO APPROVAL FOR PRIVATE WATER & ☐ REGIONAL ØETENTION BASIN SYSTEM (APPROVED H.C. PRJ NO.): IV. PUMPED DETENTION FACILITIES WASTE WATER SYSTEMS IS REQUIRED FOR PLAN APPROVAL. ☐ REQUIRED AND SHOWN ON SHEET(S) ☐ NOT REQUIRED DUE TO _ ∜OLUME THAT GRAVITY FLOWS: NOTE: DEDICATED UNDERGROUND FIRE LINES MUST BE SUBMIT VOLUME THAT IS PUMPED: PROPOSED STORM SEWER IS SUBMERGED (AGREEMENT MUST BE PROVIDED). **CURBING** HE HARRIS COUNTY FIRE PROTECTION GROUP FOR REVIEW AND ENTRANCE VELOCITY INTO ROADSIDE DITCH STATIC W.S.E. @ OUTFALL IS PERMITTING BY THE UNDERGROUND FIRE LINE CONTRACTOR. CIVI I. ISLANDS, MEDIANS AND ALL AREAS NOT TAKING DIRECT DRIVEWAY ACCESS OR STORM SEWER: REIVEW DOES NOT REVIEW OR APPROVE UNDERGROUND FIRE LINES FO REQUIRES STANDARD 6" CURBING PUMP SPECIFICATIONS AND AUTOMATIC SHUTOFF PLAN FOR ROADSIDE DITCH THE FIRE PROTECTION SYSTEMS. & STORM SEWER OUTFALLS APPEAR ON SHEET **OFFSITE SHEET FLOW:** (100 YEAR) II. ☐ STANDARD 6" CURBING PROPOSED WASTEWATER TREATMENT PLANTS ☐ 4" x 12" CURBING PROPOSED EXCEPT AT MEDIANS AND ISLANDS OFFSITE SHEET FLOW MAPPING, TOTAL DISCHARGE CALCULATIONS, AND V. FLOW RESTRICTOR TRAFFIC CONSIDERATIONS DESIGN ACCOMODATIONS ARE SHOWN ON SHEET OR, AS PRESENTED OUTFALL PIPE SI IN THE APPROVED DRAINAGE STUDY ENTITLED THE PROPOSED PROJECT A NEW WWTP SITE OR A REHAB/EXPANSION OF AN RESTRICTOR PIPE SIZE NOTE: ALL ROADSIDE DITCH OUTFALLS REQUIRE EROSION CONTROL MEASURES. RIPRAP IS NOT ALLOWED AS AN EROSION CONTROL MEASURE IN HARRIS COUNTY ROW. ALL PUMPED DETENTION OUTFALLS TO ROADSIDE DITCHES REQUIRE MANHOLE W/ LEADS. ING WWTP SITE? $YES \square NO \square$ ■ NO MEDIAN CUT OR RELOCATION IS PROPOSED TOTAL ACREAGE =____ ☐ MEDIAN MODIFICATIONS ARE SHOWN ON SHEET TOTAL DISCHARGE = F YES, IS A HARRIS COUNTY DOMESTIC WASTEWATER TREATMENT PLANT EXPRES REVIEW SHEET ATTACHED AND COMPLETED ACCORDING TO INSTRUCTIONS? I. LEFT / RIGHT TURN LANE NOTE: ALL OFFSITE SHEET FLOW FROM ADJACENT PROPERTIES MUST BE \square NO \square ■ NO LEFT / RIGHT TURN LANE IS PROPOSED IDENTIFIED AND PROPERLY ACCOUNTED FOR IN THE PROJECT. THE SIGNING ☐ LEFT / RIGHT TURN LANE IS SHOWN ON SHEET _ WWW.ENG.HCTX.NET/PERMITS/WASTEWATER/REGULATIONS-STANDARDS-DETAILS GINEER HEREBY CERTIFIES THAT THESE AREAS HAVE BEEN ADDRESSED. BENCHMARK REQUIREMENTS FOR FOR DOMESTIC WWTP ERS FORM III. TRAFFIC CONTROL PLAN PROPOSED BRIDGES AND OR NEW RESIDENTIAL SUBIDIVSIONS □ NO WORK IN THE RIGHT OF WAY IS PROPOSED THAT WOULD INTERFERE WITH TRAFFIC FLOW When the County Engineer has determined that a new benchmark will be required to be established for the proposed project, the developer shall be required to install a benchmark per section 8.0, part 2 of the ☐ TRAFFIC CONTROL SHOWN ON SHEET FLOOD PLAIN STATUS STORMWATER QUALITY Harris County Infrastructure Regulations. ■ NO TRAFFIC SIGNAL IS EXISTING / PROPOSED . GENERAL INFORMATION PPP: CONSTRUCTION MEASURES. (Complete for ALL Is a new Benchmark required for this project? (to be determined by Harris County) [__] yes [__] no FIRM PANEL(S) FOR PROPERTY: 48201C 0255L ☐ EXISTING TRAFFIC SIGNAL DEVICES (T.C. BOXES AND LOOPS FIRM PANEL(S) DATE: If a new Benchmark is required, the proposed benchmark information is shown on sheets SHOWN ON SHEET ■ DISTURBS >1AC. SITE PLAN & DETAILS ON SHEET(S) STATUS OF PROPERTY ON MAP ☐ PROPOSED TRAFFIC SIGNAL (BY OTHERS) ☐ DISTURBS <1AC. N/A FOR PROJECTS LOCATED IN ANY FLOODPLAIN ENTIRELY LOCATED IN UNSHADED ZONE "X" V. TRAFFIC IMPACT ANALYSIS . APPLICABILITY FOR PERMANENT FEATURES. (must be completed on all projects) LOCATED PARTIALLY OR ENTIRELY IN ANY "A" ZONE OR SHADED ZONE "X" Development constructed or placed in accordance with these plans will comply with all provisions of the Regulations of Harris County, Texas for Floodplain Management ■ NO TRAFFIC IMPACT ANALYSIS IS REQUIRED DELINEATE FLOODPLAIN BOUNDARY ON CONSTRUCTION DRAWINGS NEW DEVELOPMENT: (DRAINAGE LAYOUT PG. NO.____) (1% BASE FLOOD LEVEL No net fill is allowed in the flood plain and no fill is allowed in the floodway ☐ TRAFFIC IMPACT ANALYSIS HAS BEEN APPROVED ON DATE:__ PLAN TITLE: DJECT IS ON A PARCEL (A COMMON PLAN OF DEVELOPMENT) LESS THAN 5 ACRES FOUNDATION NOTES: (Applies to only buildings or building additions requiring a class II permit) HCPID PROJECT NO .: (must be verified with plat) SITE REMOVED FROM FLOODPLAIN BY LOMR, LOMR-F, LOMA All water heaters, furnaces, air conditioning units, electrical distribution panels, and any other mechanical or electrical equipment must be elevated in accordance with Section 4.05 of Harris County Floodplain regulations. _____ REVISED FLOODPLAIN IS SHOWN ON SHEET_ PROJECT DOES NOT MEET THE DEFINITION OF SIGNIFICANT REDEVELOPMENT (Part A, Any electrical circuit serving a light switch or outlet located below the base (100-year) flood elevation shall be dropped from above and be on a separate breaker. DESCRIPTION OF PROPERTY Sec. 2.39 of Regulations of Harris County, Texas for Stormwater Quality Management BENCHMARK USED All materials used below the (100-year) base flood elevation are on approved FEMA Technical Bulletin 2-08 as Class 5 water-resistant, and approved in accordance with HARRIS COUNTY FLOODPLAIN REFERENCE MARK FEMA Technical Bulletin 1-08 for foundation openings. **EXEMPT GRANDFATHERED:** I. LEGAL DESCRIPTION HARRIS-GALVESTON COASTAL SUBSIDENCE DISTRICT BENCHMARK (FOR COASTAL AREAS) A. ACREAGE: 0.7200 ACRE Critical facilities located in the 0.2% or 500yr floodplain or 1% or 100yr floodplain shall have the lowest floor elevated to 3 feet or more above the 0.2% flood elevation, or PROJECT'S DRAINAGE TIES DIRECTLY INTO AN EXISTING DRAINAGE SYSTEM PRIOR TO 24 inches above the crown of the adjacent road, which ever results in a higher elevation. CRIPTION OF BENCHMARK INCLUDING ELEVATION, DATUM AND Floodproofing and sealing measures must be taken to ensure that toxic substances will not be displaced by or released into floodwaters. BLOCK 2 MOSSY OAKS, SECTION THREE (FOR VERIFICATION: PROVIDE ORIGINAL DRAINAGE AREA MAP INCLUDING CALCULATIONS) Access routes elevated to or above the level of the base flood shall be provided to all critical facilities to the extent possible TOPOGRAPHIC SURVEY HAS BEEN REFERENCED TO ☐ SURVEY & ABSTRACT: A completed as-built certificate must be submitted after the structure is complete and before it is occupied. TY FLOODPLAIN REFERENCE MARK (RM) NO. 100315 ☐ PROJECT'S SWQ REQUIREMENTS FALL WITHIN THE JURISDICTION OF: The County Engineer's Office will post a final inspection notice on the structure once all requirements have been met. ELEVATION IS 134.36' No fill may be used to elevate structures in the 1% or 100yr flood plain. Structures may be constructed on an open foundation, such as piers, or on continuous foundation STORMWATER QUALITY PERMIT REQUIREMENT IS COVERED BY AN EXISTING SWOMP WITHIN C. ADJACENT ROADS: SUMAC LANE walls with properly sized and located openings. All foundations are required to be designed by a registered professional engineer. ELEVATIONS TAKEN PER GPS OBSERVATIONS WITHIN TEXAS STATE All structures shall be designed to withstand a three second gust basic wind speed of 120mph. PLANE COORDINATES FOR SOUTH CENTRAL ZONE (4204) HARRIS COUNTY PROJECT NO. _____ & SWQ PERMIT NO. Completed *Elevation Certificates to be submitted: one at permitting, a second after the slab is poured or sub-floor is installed and before the framing starts, and a third II. FLOOD PLAIN DETERMINATION BASED ON GROUND ELEVATION is required once construction is finished. *(PER CURRENT FIRM PANEL) to the Harris County Engineering Department, 10555 Northwest Freeway, Suite 120, Houston, TX STORMWATER QUALITY MANAGEMENT PLAN: A. SUBDIVISION PLAT B. STREETS PROPOSED PROPERTY LIES ENTIRELY ABOVE THE BASE FLOOD LEVEL ☐ SITE PLAN ON SHEET(S) ☐ PROPOSED PLAT / REPLAT ☐ PUBLIC AND IN SHADED ZONE "X" PROPERTY LIES PARTIALLY OR ENTIRELY BELOW THE BASE FLOOD RECORDED PLAT / REPLAT HARRIS COUNTY ENGINEERING DEPARTMENT -PRIVATE III. PERMANENT SWQ FEATURES. (COMPLETE IF NOT EXEMPT) THE PROJECT WAS REVIEWED, HOWEVER, THIS DOES NOT MEAN THE ENTIRE PROJECT, INCLUDING ALL SUPPORTING DATA PERMIT OFFICE NOTE: AND CALCULATIONS HAVE BEEN COMPLETELY CHECKED AND VERIFIED. THESE DRAWINGS ARE SIGNED, DATED AND SEALED ☐ PUBLIC & PRIVATE BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS. WHICH THEREFORE CONVEYS THE ENGINEER'S III. FLOODPLAIN STORAGE SUMMARY (APPLIES ONLY TO PORTION OF LAND LOCATED WITHIN FLOODPLAIN AS DELINEATED BY FIRM PANEL). ☐ VEGETATIVE CONTROLS USED: (FILTER STRIP, GRASSY SWALE, URBAN FORESTRY) NONE THE PERMIT MANAGER SIGNATURE REPRESENTS PLAT NAME: RESPONSIBILITY AND ACCOUNTABILITY. THIS DOES NOT RELIEVE ANY PARTY FROM COMPLYING WITH APPROPRIATE FEDERAL, STATE THE FOLLOWING: DETAILS AND CALCULATIONS APPEAR ON SHEET(S) AND LOCAL ENVIRONMENTAL RULES, LAWS, AND REGULATIONS AND ANY OTHER LEGALLY ADOPTED REGULATION OR ORDINANCE A. TOTAL VOLUME OF MATERIAL PROPOSED TO BE MOVED OR PLACED WITHIN THE COMPLETION OF REVIEW OF THESE PLAN RELATED TO LAND DEVELOPMENT. IF THE CITY SIGNATURES ARE REQUIRED BY ORDINANCE, COUNTY PERMITS WILL NOT BE ISSUED THE FIRM DELINEATED FLOODPLAIN (FILL, BASE, CONCRETE, ASPHALT, ETC.): ☐ POND STRUCTURE USED (WET, DRY, WETLANDS) DETAILS AND CALCULATIONS INTERPOSE NO OBJECTION TO THE PROPOSED UNTIL SUCH SIGNATURES ARE OBTAINED. PLAN APPROVAL EXPIRATION TO BE IN ACCORDANCE WITH LOCAL GOVERNEMENT CODE CH. 245. BELOW 0.2% BASE FLOOD ELEVATION _____ (2001 ADJ.) _____ CUBIC YARDS DESIGN ON PRIVATE PROPERTY APPEAR ON SHEET(S) __ APPROVAL OF WORK IN HARRIS COUNTY III. JURISDICTIONS ENGINEER'S CERTIFICATION B. TOTAL VOLUME OF MATERIAL PROPOSED TO BE REMOVED FROM THE FIRM MAINTAINED RIGHT OF WAY ☐ HYDRODYNAMIC TYPE SEPARATOR MODEL: DELINEATED FLOODPLAIN: ☐ CITY OF_ APPROVAL OF WORK IN PROPOSED HARRIS BELOW 0.2% BASE FLOOD ELEVATION _____ (2001 ADJ.) _____ CUBIC YARDS _, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE COUNTY RIGHT OF WAY THAT IS TO BE ETJ, CITY OF HOUSTON \square OTHER(S): NFORMATION PRESENTED ON THIS SHEET IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM NOT ACCEPTED BY THE COUNTY C. FILL AREA & VOLUME CALCULATIONS ARE SHOWN ON SHEET _____ ☐ ETJ, CITY OF _ VIOLATING ANY PROVISION OF THE CURRENT TEXAS ENGINEERING PRACTICE ACT AND RULES CONCERNING THE PRACTICE OF ☐ NO ETJ ENGINEERING AND PROFESSIONAL ENGINEERING LICENSURE. I CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE PLANS IN IV. LOMR REQUIRED CLOMR REQUIRED VERIFIED BY: ____ THEIR ENTIRETY ARE DESIGNED PER THE HARRIS COUNTY ENGINEERING STANDARDS, REGULATIONS, AND GUIDELINES UNLESS HCED SIGNATURE BLOCK: IV. HCAD ACCOUNT NOS. (ALL) KEY MAP PAGE 291L PROVIDED A VARIANCE BY THE COUNTY ENGINEER OR HIS DESIGNEE. SHOULD IT BE DEEMED BY HCED STAFF, THAT THE PLANS DO NOT MEET THE COUNTY'S STANDARDS, REGULATIONS AND GUIDELINES AND DID NOT RECEIVE AN APPROVED VARIANCE. THE APPROVAL OF SAID PLANS BECOMES NULL AND VOID AND THE DESIGN PLANS MUST BE CORRECTED AT NO CHARGE TO THE COUNTY. CURB RAMPS V. UNOBSTRUCTED VISIBILITY EASEMENT (U.V.E.) A. ARE CURB RAMPS THAT CONNECT TO PUBLIC STREETS PROPOSED ☐ REQUIRED AND SHOWN ON SHEET(S) IN THIS SET OF PLANS? $[\]$ YES [X] NO NOT REQUIRED REVISIONS LANDSCAPING NOTE: ALL APPROVED, FINAL PLATS AND ASSOCIATED CPC101 FORMS MUST BE INCLUDED WITH PLAN SUBMITTAL NOTE: REVISION BLOCK IS TO BE USED ONLY FOR CHANGES MADE REQUIRED AND SHOWN ON SHEET(S) AFTER PLANS HAVE BEEN APPROVED BY HARRIS COUNTY. ☐ CONFORMING SUBDIVISION ☐ NOT REQUIRED ■ NON-CONFORMING SUBDIVISION DATE SHEET NO DESCRIPTION ☐ PARTIALLY NON—CONFORMING SUBDIVISION HARRIS COUNTY

ENGINEERING DEPARTMENT REVIEW SHEET

VERSION 20.0 MAY 27, 2020

H.C. APPROVED DATE SHEET NUMBER <u>**C2**</u> OF <u>**7**</u> HC PROJECT NO. HCFCD PROJECT NO.

LEGEND

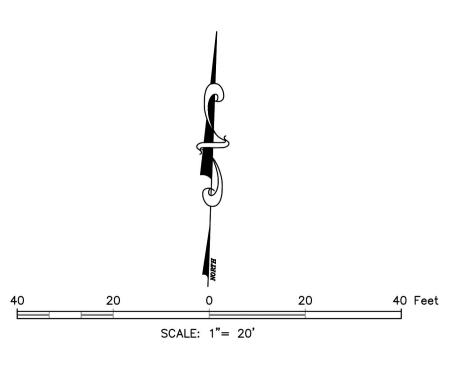


DESIGNATES DEMOLITION AREA (CONTRACTOR SHALL DEMOLISH THE EXISTING COVERED AREA)

NOTES:

- CONTRACTOR SHALL CLEAR PROJECT SITE OF ALL TREES, SHRUBS, AND OTHER VEGETATION, EXCEPT FOR THOSE DESIGNATED BY OWNER TO BE LEFT STANDING. ALL STUMPS, ROOTS AND OTHER DEBRIS PROTRUDING FROM THE GROUND SURFACE SHALL BE REMOVED. ALL DEPRESSED AREA CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL, UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED.
- CONTRACTOR SHALL ONLY USE HAND METHODS FOR GRUBBING INSIDE DRIP LINE OF VEGETATION DESIGNATED TO REMAIN.
- CONTRACTOR SHALL DISPOSE OF ALL TREES, SHRUBS, STUMPS, ROOTS AND OTHER VEGETATION FROM CLEARING AND GRUBBING TO A LICENSED OFF SITE LAND FILL.
- CONTRACTOR SHALL SECURE ALL AGENCY PERMITS FOR REQUIRED DEMOLITION WORK.

CONTRACTOR SHALL FIELD—VERIFY ALL EXISTING DIMENSIONS & CONDITIONS & SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES THAT MAY AFFECT THE WORK DESCRIBED HEREIN.



BUILDING BUTION

22422 SUMAC SPRING, TX

SITE DEMOLITION
PLAN

FE: DRAWN BY: CHECKED BY:

DRAWING NO.:

ING NO.:

LEGEND

PROPERTY LINE

EXIST.=FILLED PROP.=OPEN

CATCH BASIN (C.B.) BY PARK EQUIPMENT OR EQUAL,

(RE: SCHEDULE FOR SIZE)

H.C.M.R. HAF H.C.C.F. HAF

HARRIS COUNTY MAP RECORDS
HARRIS COUNTY CLERK'S FILE

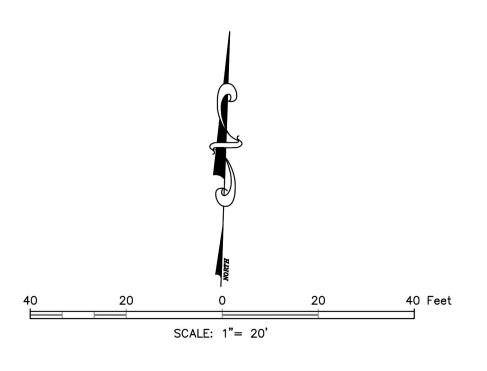
FL XX.XX FLOW LINE ELEVATION

PROPOSED ELEVATION OF TOP OF GRATE OF INLET

KEYED PLAN NOTES:

1 REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

CONTRACTOR SHALL FIELD—VERIFY ALL EXISTING DIMENSIONS & CONDITIONS & SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES THAT MAY AFFECT THE WORK DESCRIBED HEREIN.



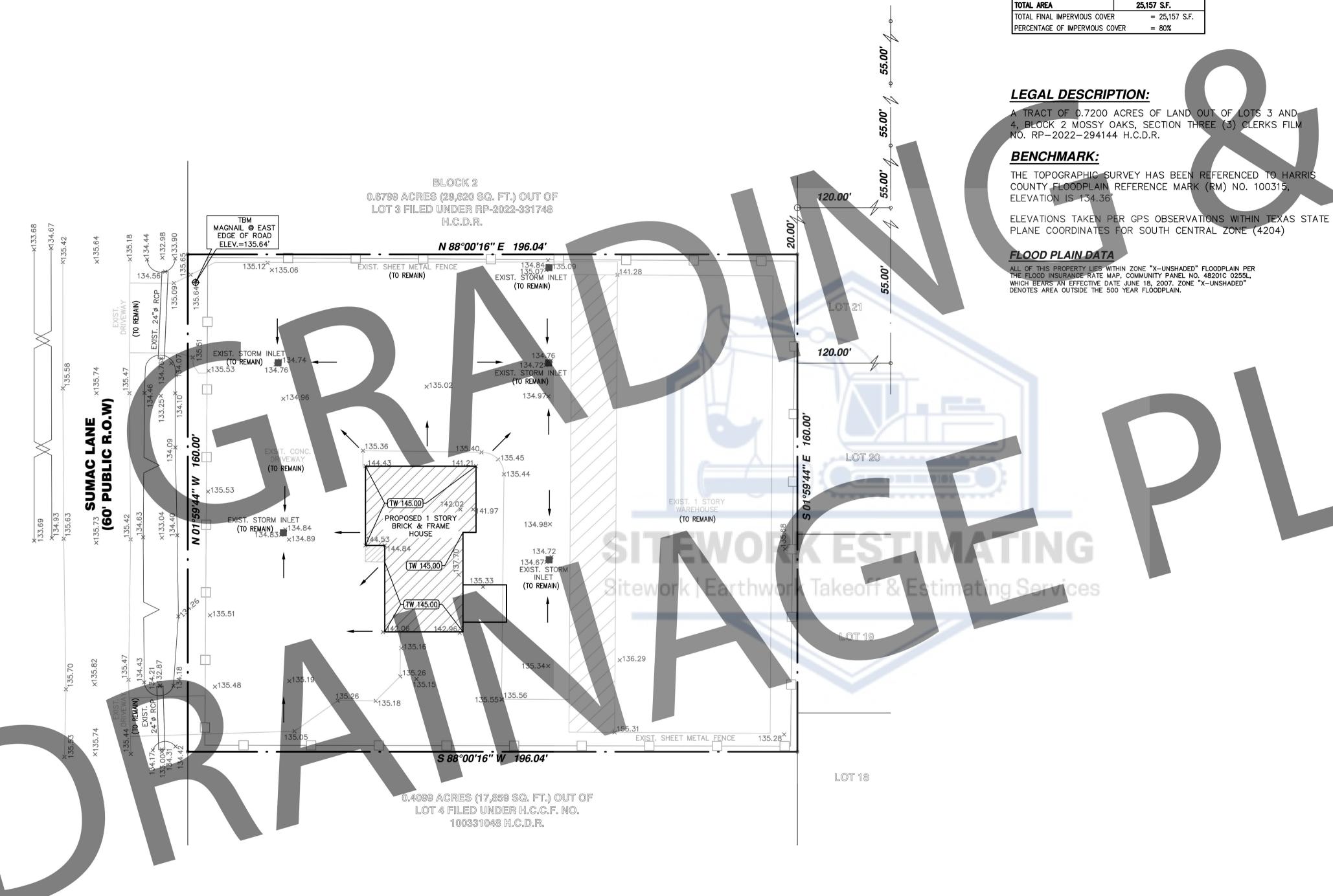
STE DEATE:

DATE:

DWG SCALE:

PROJECT NO:

APPROVED BY:





IMPERVIOUS COVER ANALYSIS:

= 31,366 S.F.

8,944 S.F.

16,213 S.F.

TOTAL SITE AREA

IMPROVEMENT TYPE

PARKING LOT

	PROPERTY LINE
—	DIRECTION OF FLOW
EXIST.=FILLED PROP.=OPEN	CATCH BASIN (C.B.) BY PARK EQUIPMENT, HOUSTON (713-937-7602) OR EQUAL (RE: SCHEDULE FOR SIZE)
145.00	EXISTING GRADE ELEVATIONS
FL XX.XX	FLOW LINE ELEVATION
TG XX.XX	PROPOSED ELEVATION OF TOP OF GRATE OF INLET
TC XX.XX	PROPOSED TOP OF CURB ELEVATION
TP XX.XX	PROPOSED TOP OF PAVEMENT ELEVATION
TW XX.XX	PROPOSED TOP OF SIDEWALK ELEVATION

NOTES:

- 1. ANY PAVING INSTALLED OVER A UTILITY EASEMENT SHALL HAVE CONSTRUCTION JOINTS OR SAW CUTS ALONG THE ENTIRE EASEMENT LINE OF THE ENCROACHMENT AND TRAVERSE THE EASEMENT AT INTERVALS EQUAL TO OR LESS THAN 10 FOOT INCREMENTS.
- 2. ALL PROPOSED CURBS ARE 6" TYPICAL, U.N.O. ON PLANS. CONTRACTOR SHALL CONTACT ENGINEER/ARCHITECT IF CURB DEPTH EXCEEDS 6".
- 3. OVERHEAD AND UNDERGROUND UTILITIES MAY EXIST IN THE VICINITY OF THIS PROJECT. LOCATIONS SHOWN FOR EXISTING UTILITIES ARE APPROXIMATE AND OTHER UTILITIES MAY EXIST IN THE VICINITY OF THE PROJECT WHICH ARE NOT SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES IN THE VICINITY OF THE PROJECT, PRIOR TO BEGINNING CONSTRUCTION. IF ANY DISCREPANCIES EXIST, NOTIFY ENGINEER IMMEDIATELY.
- 4. CONDITION OF THE ROAD AND/OR RIGHT-OF WAY, UPON COMPLETION OF JOB SHALL BE AS GOOD AS OR BETTER THAN PRIOR TO STARTING WORK.
- 5. EXISTING PRIVATE AND PUBLIC GREEN AREAS, UTILITIES, PAVEMENTS, CURBS, DRIVEWAYS AND SIDEWALKS DAMAGED OR REMOVED DURING CONSTRUCTION OR AS A RESULT OF CONSTRUCTION SHALL BE REPLACED TO THE HARRIS COUNTY STANDARDS.
- 6. ALL TREES, SHRUBS, STUMPS, ROOTS AND OTHER VEGETATION FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF AT LICENSED OFF SITE LAND FILL.

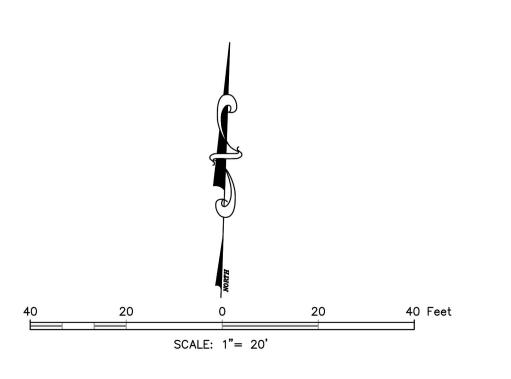
HYDROMULCH NOTE:

CONTRACTOR SHALL HYDROMULCH ALL NEWLY GRADED AREAS AND EXPOSED SOILS UPON PAVING AND POND COMPLETION.

EXCESS SOIL MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR & IS TO BE DISPOSED OFFSITE RESPONSIBLY AT NO SEPARATE PAY.

CONSTRUCTION NOTE:

CONTRACTOR SHALL CONFIRM NO CONFLICTS BETWEEN EXISTING AND PROPOSED DRY/WET UTILITIES IN PUBLIC R.O.W., BEFORE STARTING SITE WORK CONSTRUCTION.



NO DATE REVIDIONS

BUILDING

2422 SUMAC LAN SPRING, TX 77389

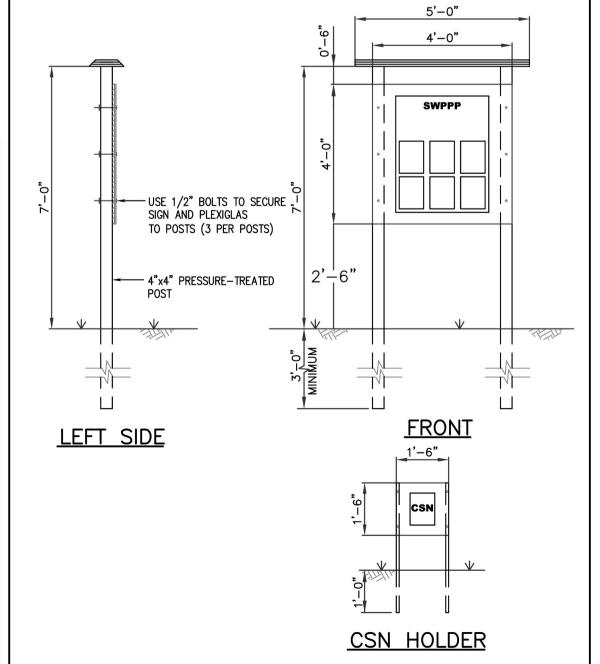
PRAINAGE PLAN

DRAWING NO

S NO.:

STORM WATER POLLUTION PREVENTION NOTES

- 1. SEDIMENT WILL BE RETAINED ON SITE TO THE MAXIMUM EXTENT PRACTICABLE.
- 2. CONTROL MEASURE WILL BE PROPERLY SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICE. IF DAMAGED OR RENDERED INEFFECTIVE, THE EROSION AND SEDIMENT CONTROLS WILL BE REPAIRED OR REPLACED IMMEDIATELY.
- WHEN PUMPING (DEWATERING) STANDING STORM WATER FROM THE SITE, THE OPERATOR SHALL USE APPROPRIATE BEST MANAGEMENT PRACTICES (BMP'S) FROM THE STORM WATER MANAGEMENT HANDBOOK FOR CONSTRUCTION ACTIVITIES THAT ADDRESS DEWATERING ACTIVITIES. UNTREATED/DIRECT DISCHARGE INTO A STORM
- 4. IF THE INTERIM PERIOD BETWEEN CONSTRUCTION OF UTILITIES AND STREET CONSTRUCTION WILL BE MORE THEN 21 DAYS, THE STREET RIGHT-OF-WAY WILL
- 5. AFTER PAVING COMPLETION, NEWLY GRADED AREAS AND ALL EXPOSED SOILS WILL
- 6. CONTROL MEASURES WILL BE INSTALLED ALONG BACK OF CURB TO ADEQUATELY
- 7. CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE, UNLESS THEY ARE
- 8. EROSION AND SEDIMENT CONTROL MEASURES THAT HAVE BEEN IMPROPERLY INSTALLED OR HAVE BEEN DISABLED, RUN-OVER, REMOVED, OR OTHERWISE
- 9. MAINTENANCE AND REPAIRS WILL BE CONDUCTED WITHIN 24 HOURS OF
- 10. SEDIMENT WILL BE REMOVED FROM BEHIND THE FILTER FABRIC FENCE WHEN
- 11. SEDIMENT WILL BE REMOVED AROUND THE INLET BARRIERS AND DIKES WHEN THE STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED.
- 2. INSPECTIONS OF ALL BMP'S WILL BE CONDUCTED EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER; OR EVERY 7 CALENDAR DAYS.
- 13. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLANS WILL BE INSPECTED TO INSURE EFFECTIVE OPERATION.
- 14. THE SWPPR WILL BE AMENDED TO REPLACE INEFFECTIVE BMPS IDENTIFIED THROUGH INSPECTIONS WITHIN 7 DAYS OF IDENTIFYING THE DEFICIENCY.
- 15. REPORTS WILL INCLUDE WHAT MAINTENANCE WAS DONE AS A RESULT OF THE
- 16. ALL LITTER, TRASH AND FLOATABLE DEBRIS WILL BE CONTAINED WITHIN THE SITE.



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